

2024031499 00122FORSYTH COUNTY NC FEE \$26.00
STATE OF NC REAL ESTATE EXT
\$27541.00

PRESENTED & RECORDED

09/17/2024 01:05:36 PM

LYNNE JOHNSON

REGISTER OF DEEDS

BY: CHELSEA B MARTINEZ, DPTY

BK: RE 3826

PG: 2797 - 2801

Excise Tax: \$ 27,541.00

This instrument prepared by (on behalf of Grantee):
 Womble Bond Dickinson (US) LLP (Hunter S. Edwards)
 301 S. College Street, Suite 3500
 Charlotte, NC 28202

Return to after recording: Grantee at address below.

Brief description for the Index: Lot 4 on Plat Book 74, Page 54

Parcel ID: 6827-91-8600.000

REID: 6827918600000

NORTH CAROLINA SPECIAL WARRANTY DEEDTHIS DEED made this 17th day of September, 2024, by and between

GRANTOR	GRANTEE
WP PROPERTY, LLC, a Delaware limited liability company 10275 W. Higgins, Suite 810 Rosemont, Illinois 60018	TOYOTA TSUSHO AMERICA, INC., a New York corporation 34505 W. 12 Mile Road, Suite 200 Farmington Hills, MI 48331

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, Grantor, for a valuable consideration paid by Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in Forsyth County, North Carolina and more particularly described as follows (the "Property"):

SEE EXHIBIT "A" ATTACHED HERETO AND

INCORPORATED HEREIN BY REFERENCE.

WBD (US) 4854-0617-0339v5

All or a portion of the property herein conveyed does not include the primary residence of a Grantor.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 3689, Page 3935, of the Forsyth County Registry (the "Registry").

A map showing the above-described property is recorded in Plat Book 74, Page 54 of the Registry.

This property is subject to the Brownfields Agreement attached as Exhibit A to the Notice of Brownfields Property recorded in Book 3666, Pages 1873-1920 of the Registry.

TO HAVE AND TO HOLD the aforesaid Property and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, the Grantor has done nothing to impair such title as Grantor received, and Grantor will warrant and defend the title against the lawful claims of all persons claiming by, under or through Grantor, except for the exceptions hereinafter stated. Title to the property hereinabove described is subject to the following exceptions: See Exhibit "B" attached hereto and incorporated herein by this reference.

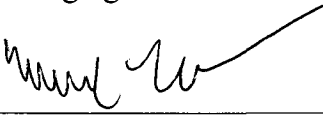
[SIGNATURE PAGE TO FOLLOW]

IN WITNESS WHEREOF, Grantor has duly executed the foregoing as of the day and year first above written.

GRANTOR:

WP PROPERTY, LLC,
a Delaware limited liability company

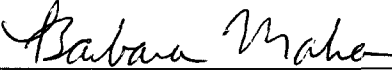
By: BIG WP LLC,
an Illinois limited liability company,
its Managing Member

By: 
Michael W. Brennan, Manager

STATE OF ILLINOIS

COUNTY OF COOK

I certify that the following person personally appeared before me this day, and acknowledged to me that s/he signed the foregoing instrument for the purpose stated therein and in the capacity indicated: Michael W. Brennan.

Date: Sept. 11, 2024 
(official signature of Notary)

Barbara Maka, Notary Public
(Notary's printed or typed name)



(Official Seal)

My commission expires: 1-28-26

EXHIBIT "A"

Lying and being situate in Forsyth County, North Carolina, and being more particularly described as follows:

FEE TRACT: BEING an approximately 8.8445 acres +/- property described as "Lot 4" as shown on the Final subdivision Plat entitled "Final Plat Whitaker Park Phase 4" prepared by MLA Group dated August 3, 2021 and recorded in Plat Book 74 at Page 54 of the Registry.

EASEMENT TRACT ONE: TOGETHER WITH easements contained or conveyed in that certain Limited Warranty recorded in Deed Book 2663, page 3937 of the Registry.

EASEMENT TRACT TWO: TOGETHER WITH easements contained or conveyed in that certain Fire Pump Use, Operation and Easement Agreement recorded in Book 3779, page 598 of the Registry.

EASEMENT TRACT THREE: TOGETHER WITH easements contained or conveyed in that certain Private Sanitary Sewer & Pump Station Easement and Maintenance Agreement recorded in Book 3818, page 196 of the Registry.

EXHIBIT B

1. The lien of 2025 ad valorem taxes, and subsequent years, not yet due or payable (with the 2024 ad valorem taxes being paid at the closing with Grantor and Grantee agreeing to prorate those 2024 ad valorem taxes).
2. The following matters disclosed by survey entitled "ALTA/NSPS Land Title Survey 4043 Reynolds Court" by Tyler Reid Goodwin, P.L.S. of Blew, Inc., dated August 19, 2024, last revised August 30, 2024 (the "Survey"): (a) service utilities; and (b) fence encroachments.
3. Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Property disclosed by plat(s) recorded in Plat Book 74, Page 54 of the Registry, and as shown on the Survey.
4. Amended and Restated Master Declaration of Covenants, Conditions and Restrictions for Whitaker Park Area Property recorded in Book 3340, page 3234 of the Registry, and any related maps, plans, bylaws and other document(s) and amendment(s).
5. Those certain Environmental Release, Environmental Indemnity, and Environmental Restrictions as defined in and as set forth in Special Warranty Deed of Gift recorded in Book 3340, page 3252 of the Registry.
6. Easement(s) to Duke Power Company recorded in Book 425, page 277 of the Registry.
7. Terms and conditions of the easements reserved in Limited Warranty Deed Book 2663, page 3937 of the Registry, and as shown on the Survey, and rights of others in and to the use thereof.
8. Easement(s) to Duke Energy Carolinas, LLC recorded in Book 3446, page 2619; Book 3496, page 1702; Book 3678, page 2337 and Book 3736, page 2696 of the Registry.
9. Notice of Brownfields Property recorded in Book 3666, page 1873 of the Registry and in connection therewith Exhibit B to the Notice of Brownfields Property SURVEY PLAT recorded in Plat Book 75, pages 28 and 29 of the Registry.
10. Access Easement Agreement recorded in Book 3666, page 4071 of the Registry, and as shown on the Survey.
11. Terms and conditions of that certain Fire Pump Use, Operation and Easement Agreement recorded in Book 3779, page 598 of the Registry, and rights of others in and to the use thereof.
12. Terms and conditions of that certain Private Sanitary Sewer & Pump Station Easement and Maintenance Agreement recorded in Book 3818, page 196 of the Registry, and as shown on the Survey, and rights of others in and to the use thereof.